

# PENNYCRESS

HIGH STREET, ASCOTT-UNDER-WYCHWOOD



SOBRY BEAK





**P**ennycress is a beautifully crafted Georgian-style home and a standout example of contemporary country architecture, built by renowned local specialist developer Sobry Beak.

Nestled in the heart of the Cotswolds, this exceptional five-bedroom detached home offers a rare blend of rural charm and contemporary comfort.

With breathtaking countryside views from the garden and a generous frontage with a double detached garage, the property exudes elegance from the moment you arrive.

Inside, spaciousness and natural light define the layout, with three versatile reception rooms providing flexible living and entertaining space.

The open-plan kitchen and dining room forms the heart of the home—perfect for family life and social gatherings—while a feature fireplace with a wood-burning stove adds warmth and character to the main living area.



**SOBRY BEAK**

HOMES THAT INSPIRE















Sobry Beak's meticulous craftsmanship is evident throughout the property – from the natural stone and timber flooring to the bespoke kitchen by Hunt, which has been handmade, hand-painted, and fitted with high-end features including a Lacanche range cooker, Quooker boiling water tap, water softener, Shaws Belfast sink, and a suite of premium appliances.

While thoughtfully designed for contemporary living and future generations, the home maintains a timeless, traditional aesthetic that sits beautifully within this quintessential Cotswolds village.

Inside this home is wonderfully light and spacious, with tall windows, high ceilings, and generous room sizes throughout. The layout has been carefully considered for family life, with the rear of the house dedicated to an expansive open-plan kitchen, dining, and living area. This sociable space opens onto the garden terrace via both bifold and French doors, creating a seamless connection to the outdoors.

There's also a living room to the front, a flexible study or snug, a practical utility room, and a cloakroom – all contributing to a home that's as functional as it is beautiful.



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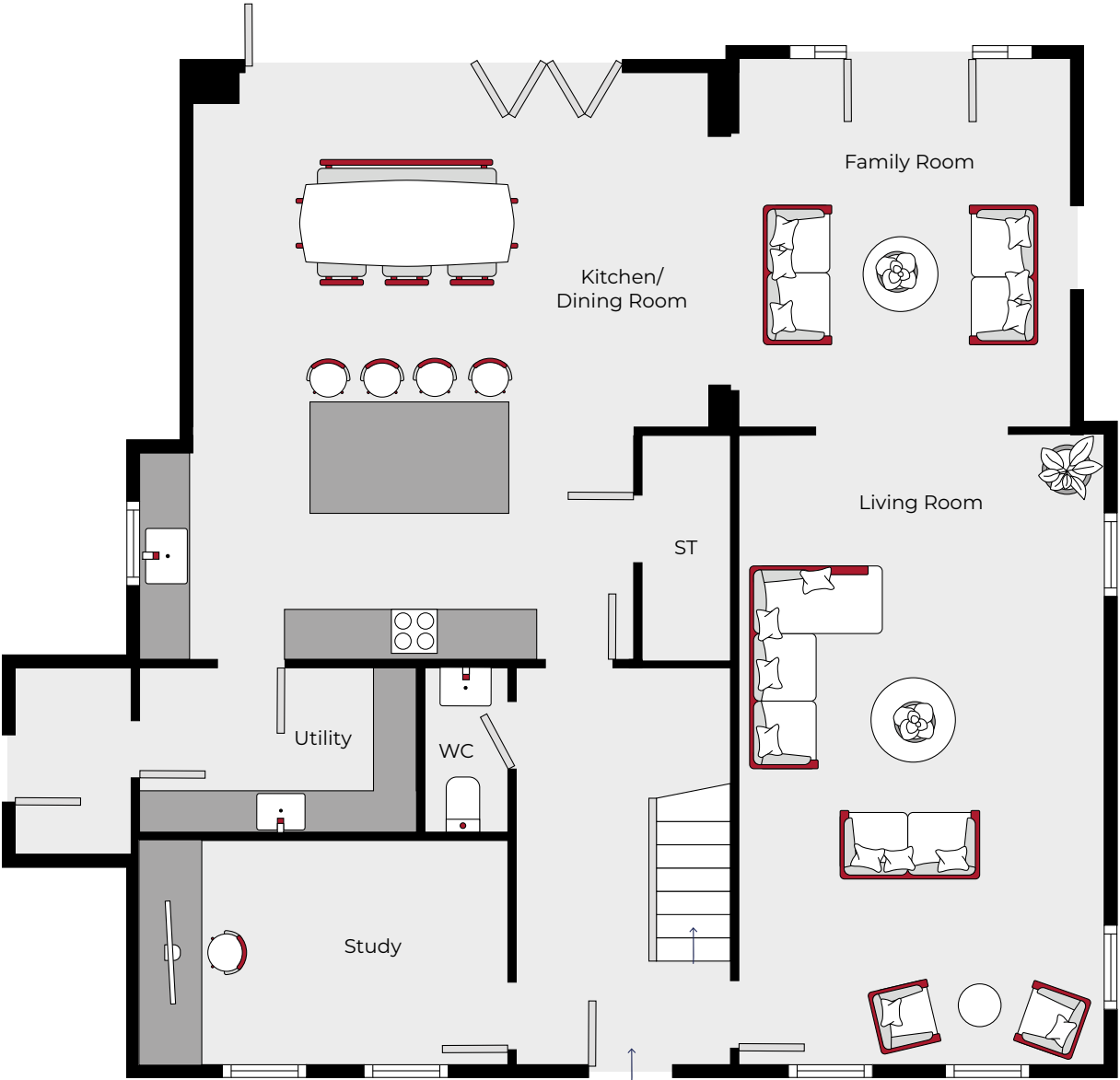






# GROUND FLOOR

LAYOUT & DIMENSIONS



## DIMENSIONS

Kitchen / Breakfast / Dining Room	10.61m x 6.90m	34'10" x 22'8"
Sitting Room	7.68m x 4.40m	25'2" x 14'5"
Family Room	4.42m x 3.98m	14'6" x 13'1"
Study	4.43m x 2.66m	14'6" x 8'9"
Utility	3.32m x 1.97m	10'11" x 6'6"
Double Garage	6.62m x 5.59m	21'9" x 18'4"
Loft over Garage	6.63m x 2.68m	21'9" x 8'10"



PENNYCRESS - LIVING ROOM THROUGH TO FAMILY ROOM









SOBRY BEAK



DINING ROOM THROUGH TO FAMILY ROOM



KITCHEN



KITCHEN



UTILITY ROOM





# FIRST FLOOR

LAYOUT & DIMENSIONS



## DIMENSIONS

Principal Bedroom	4.48m x 4.04m	14'8" x 13'3"
Ensuite	4.15m x 2.44m	13'7" x 8'0"
Dressing Room	7.35m x 4.39m	24'1" x 14'5"
Bedroom 2	4.43m x 2.69m	14'6" x 8'10"
Bedroom 3	4.42m x 3.24m	14'6" x 10'8"
Family Bathroom	2.57m x 2.00m	8'5" x 6'7"



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PRINCIPAL ENSUITE



BEDROOM TWO



BEDROOM THREE



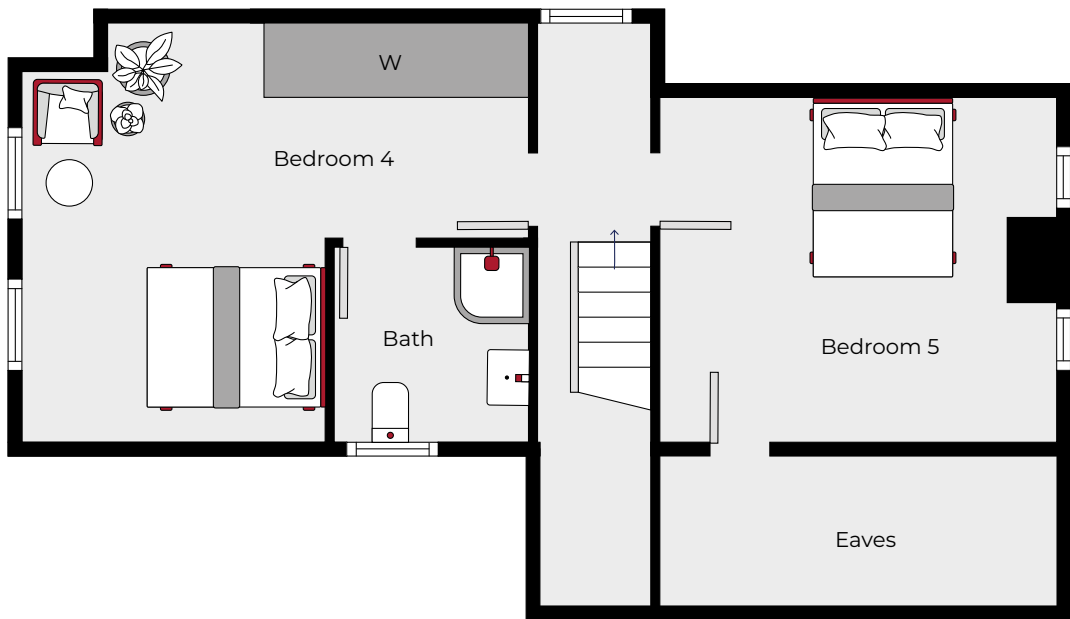
BEDROOM TWO ENSUITE





# SECOND FLOOR

LAYOUT & DIMENSIONS



DIMENSIONS

Bedroom 4	5.59m x 4.63m	18'4" x 15'2"
Bedroom 5	4.38m x 3.81m	14'4" x 12'6"



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BEDROOM 4



BEDROOM 4 ENSUITE



BEDROOM 5



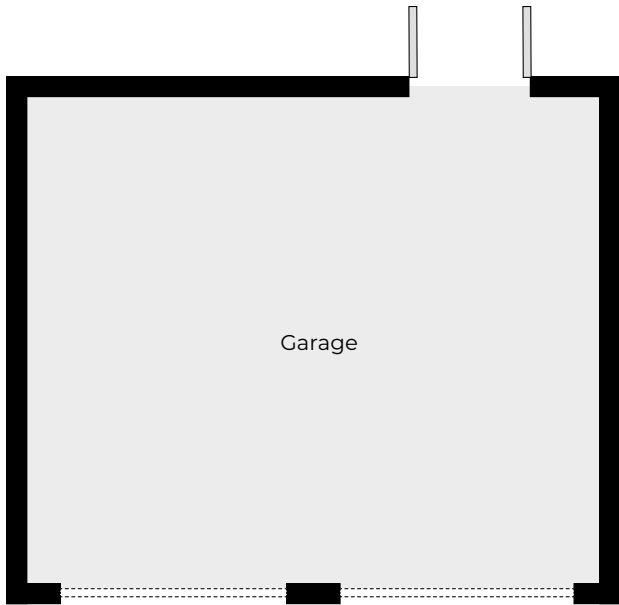
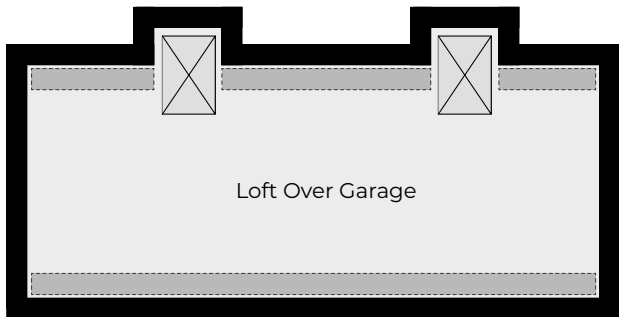
BEDROOM 5





# GARAGE & LOFT

LAYOUT & DIMENSIONS



DIMENSIONS

Garage	6.62m x 5.59m	21'9" x 18'4"
Loft	6.62m x 2.28m	21'9" 8'10"



GARAGE FRONT ELEVATION



GARAGE / LOFT REAR ELEVATION





ASCOTT-UNDER-WYCHWOOD



Ascott-under-Wychwood is a charming and sought-after village surrounded by rolling countryside, characterful period homes, and a welcoming community spirit. With a village shop, pub, independent primary school and train station, it combines idyllic rural living with exceptional connectivity. Charlbury station is only 4 miles away and offering direct rail links to London and Oxford making this an ideal base for commuters or those seeking a peaceful escape..

Just a short drive from Daylesford, Soho Farm-house, Estelle Manor and the market towns of Burford and Chipping Norton, it's perfectly positioned for both relaxed weekends and refined country life enjoying world-class dining, wellness, and leisure experiences.

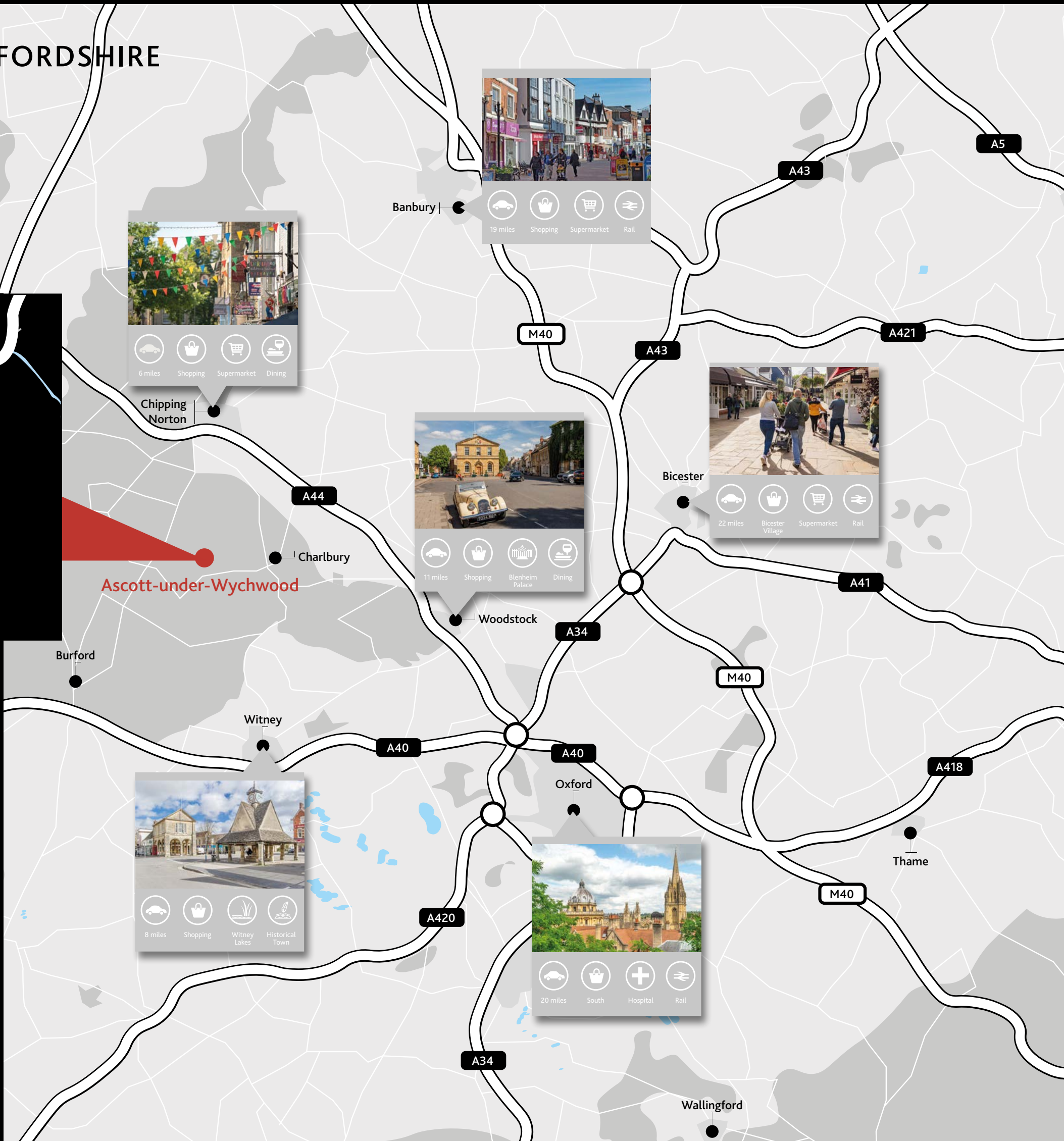
**TENURE:**  
Freehold  
**LOCAL AUTHORITY:**  
West Oxfordshire District Council

**COUNCIL TAX:**  
Band G

**EPC RATING:**  
B

**SERVICES:**  
Mains electricity, drainage and water.  
Air Source Heat Pump Mechanical Ventilation with Heat Recovery (MVHR) system, Alder security system.

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